

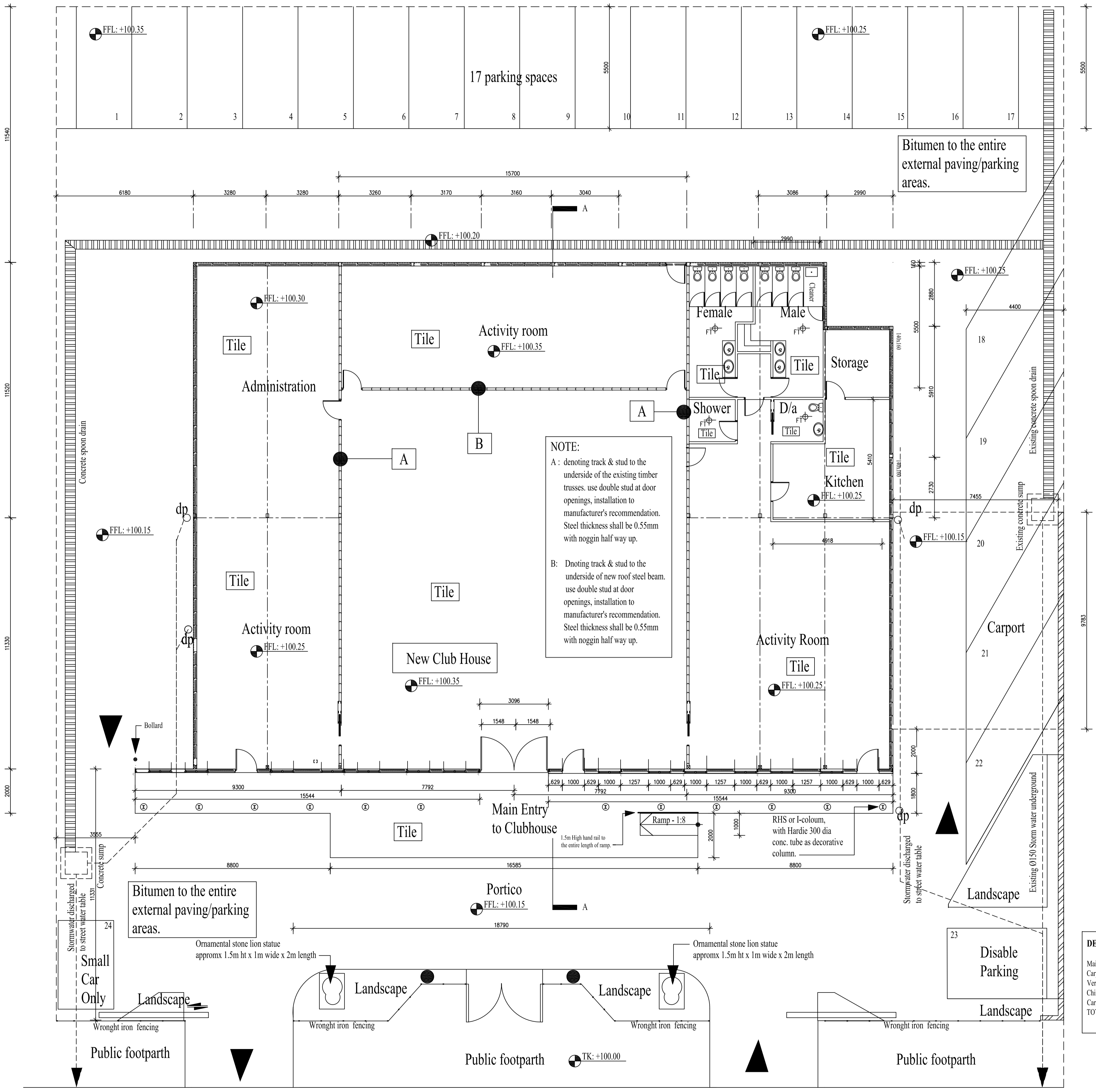
Builder & contractor note :
 Figured dimensions must be taken in preference to scaled dimensions. All site dimensions and levels are to be verified on the site prior to any work being commenced. Any discrepancies should be reported to the architect immediately.

All Workmanship and materials (whether specified or implied) must comply with all current and relevant building codes. These drawings must be read in conjunction with the Specification. It should be noted that these documents have been prepared to comply with the building legislation applicable at the time of preparation. It should also be noted that the Building Codes of Australia (BCA) is continually updated and amended. Responsibility will only be accepted for compliance with the BCA and its referenced standards applicable at the time of document preparation.

No work can commence on this project until Full Development Approval under the Development Act 1993 has been granted, and mandatory notification given to council.

Builder must confirm on-site documents and the current set, by information both architectural and engineering offices prior to work commencing.

Set area flag to have 180 tall to floor traps, 140 tall to shower traps. Tiles to be laid on flexible adhesive with flexible grout.



NOTE:
 A : denoting track & stud to the underside of the existing timber trusses. use double stud at door openings, installation to manufacturer's recommendation. Steel thickness shall be 0.55mm with noggin half way up.
 B: Dnoting track & stud to the underside of new roof steel beam. use double stud at door openings, installation to manufacturer's recommendation. Steel thickness shall be 0.55mm with noggin half way up.

DEVELOPMENT AREA:

	sqm
Main building -	726.26
Carport -	72.88
Verandah -	94.56
Chinese Gate area -	174.92
Carparking (rear & side) -	36.00
TOTAL AREA	1,104.62 sqm

4Dec12	adding storm water discharge system	nt
7Jun11	notation on stud & flooring	ns
Date	Amendment	Int'l

Client:
 TEO CHEW ASSOCIATION
 5-7 Jervois Street
 Woodville West 5011

Project:
 TEO CHEW ASSOCIATION
 Club House Development
 Refurbishment from existing Warehouse.

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 ARCHITECTURE • INTERIOR DESIGN

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Drawn	NT	Checked	NS
Project		Date	Nov 09
Sheet	Floor & Site Plan	Scale	4 of 9
Project No.	TC/001	Drawn No.	TC/001/1
Sheet No.		Date	Dec 12

Floor & Site Plan
 1:100

Print on A1